

All that part of the West One-Half (1/2) of the Southeast One-Quarter (1/4) of Section Twelve (12), Township Six(6) North, Range Twenty (20) East, in the City of New Berlin, County of Waukesha, State of Wisconsin.



DIGGERS HOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com

BASIS OF BEARINGS
 Bearings are referenced to the Wisconsin State Plane Coordinate System South Zone (MAD83), in which the South line of the SE 1/4 bears N88°25'36"E.

VERTICAL DATUM
 Elevations are references to NAVD88 (2012), with a benchmark on the Northwest upper bolt of a fire hydrant having an elevation of 802.30.

LEGEND OF SYMBOLS & ABBREVIATIONS

⊙	SANITARY MANHOLE	△	FIBER OPTIC MARKER	⊞	SIGN
⊙	STORM MANHOLE	⊙	FIBER OPTIC MANHOLE/VAULT	⊞	MAIL BOX
⊙	CLEANOUT	⊞	TELEPHONE PEDESTAL	⊞	FLAG POLE
⊙	CURB INLET	⊞	TELEPHONE MANHOLE/VAULT	⊞	BOLLARD
⊙	STORM INLET	⊞	TRANSFORMER	⊞	CROSS CUT
⊙	CATCH BASIN	⊞	ELECTRIC METER/PEDESTAL	⊞	IRON PIPE
⊙	LATERAL	⊞	ELECTRIC MANHOLE/VAULT	⊞	IRON REBAR/ROD
⊙	UNKNOWN MANHOLE	⊞	CABLE TV RISER/BOX CABLE	⊞	MAG NAIL
⊙	WELL	⊞	TV MANHOLE/VAULT	⊞	SECTION MONUMENT
⊙	HYDRANT	⊞	GAS VALVE	⊞	BENCH MARK
⊙	WATER VALVE	⊞	GAS METER	⊞	CONIFER TREE
⊙	SPRINKLER VALVE	⊞	GAS MARKER	⊞	DECIDUOUS TREE
⊙	WATER SHUT OFF	⊞	AIR CONDITIONING UNIT	⊞	BUSH
⊙	STANDPIPE	⊞	UTILITY POLE	⊞	WETLAND SYMBOL
⊙	WATER MANHOLE	⊞	GUY WIRE	⊞	DIRECTIONAL ARROW
⊙	FLOOD LIGHT	⊞	TRAFFIC SIGNAL POLE	⊞	SPOT ELEVATION
⊙	LIGHT POLE	⊞	DUMPSTER	⊞	HANDICAP STALL
—	SANITARY SEWER	—	CENTERLINE		
—	STORM SEWER	—	CONCRETE		
—	WATER MAIN	—	ELEVATION		
—	FIBER OPTIC LINE	—	EXT.		
—	TELEPHONE LINE	—	EXISTING		
—	ELECTRIC LINE	—	INVERT		
—	OVERHEAD WIRES	—	MONUMENT		
—	CABLE TELEVISION	—	P.O.B.		
—	GAS MAIN	—	P.O.C.		
—	WETLANDS	—	R.O.W.		
—	TREE LINE	—	SEC.		
—	NO ACCESS	—	SQ. FT.		
		—	W/		
		—	(R)		
		—	(D)		

kapur
 788 N. Jefferson Street, Ste 900
 Milwaukee, Wisconsin 53202
 kapurinc.com

PROJECT:
TRUSTONE CREDIT UNION

LOCATION:
 12800 W. NATIONAL AVE.
 NEW BERLIN, WI

CLIENT:

RELEASE:
PLAN COMMISSION

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 10'

SEAL:

all in 06/20/25

SHEET:
EXISTING CONDITIONS PLAN

PROJECT MANAGER: RB
 PROJECT NUMBER: 250618.01
 DATE: 06/20/2025

SHEET NUMBER:
C100

#	DATE	DESCRIPTION

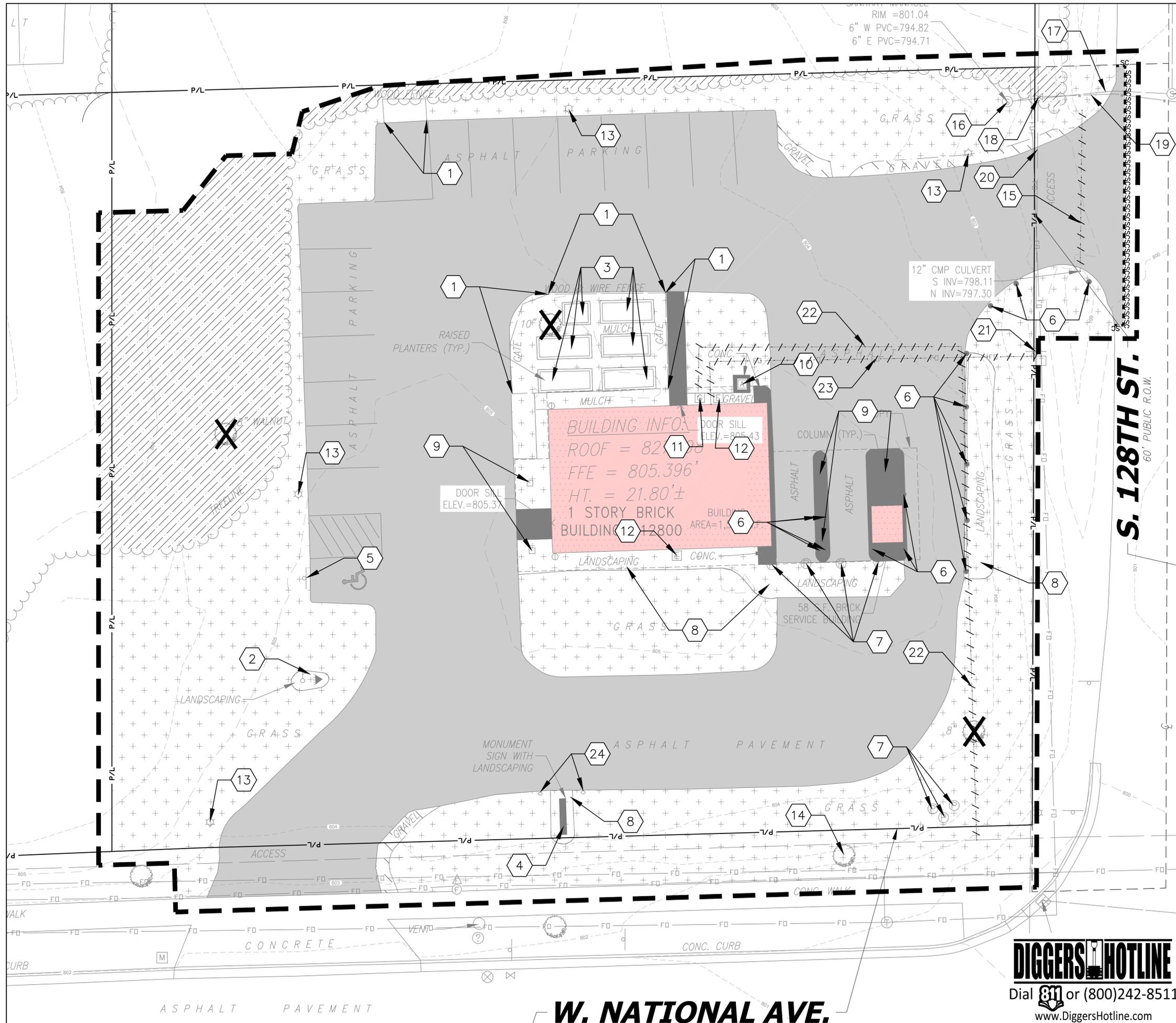


DEMOLITION NOTES

- CONSULT WITH OWNER TO DETERMINE A SAFE STORAGE LOCATION OF ITEMS SPECIFICALLY CALLED OUT TO BE SALVAGED FOR OWNER REUSE. EXERCISE CARE DURING REMOVAL AND TRANSPORT TO PREVENT DAMAGE.
- THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THE WORK AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO DNR, STATE OR LOCAL PLUMBING, WOOD, COUNTY, AND STORM WATER MANAGEMENT.
- GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
- GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
- GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.
- FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTATION VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.

KEY INDEX

- PROJECT LIMITS
- PROPERTY LINE
- EASEMENT LINE
- VEGETATION TO BE REMOVED & DISPOSED OFFSITE. IF SUITABLE FOR REUSE, TOPSOIL TO BE STOCKPILED. UNUSED & UNSUITABLE TOPSOIL TO BE REMOVED OFFSITE. TOPSOIL THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- ASPHALT PAVEMENT & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OF OFFSITE. PAVEMENT & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- CONCRETE & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OF OFFSITE. CONCRETE & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- GRAVEL MATERIAL TO BE REMOVED & DISPOSED OFFSITE. IF SUITABLE FOR REUSE, GRAVEL TO BE STOCKPILED. UNUSED GRAVEL MATERIAL TO BE REMOVED OFFSITE. GRAVEL THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- CLEAR & GRUB VEGETATION, REMOVE ROOTS & STUMPS. REMOVE & DISPOSE OF OFFSITE.
- EXISTING BUILDING & FOUNDATION TO BE RAZED. CONTRACTOR TO REMOVE FOUNDATIONS AND BASEMENT SLAB IN ITS ENTIRETY. BACKFILL WITH WISDOT STRUCTURAL FILL IN 12" LIFTS.
- SAWCUT FULL DEPTH
- TREES & STUMPS TO BE REMOVED
- DENOTES UTILITIES TO BE ABANDONED & REMOVED.
- UTILITY STRUCTURE REMOVAL/ABANDONMENT
- REMOVE & DISPOSE OF EXISTING WOODEN FENCE INCLUDING FOOTINGS.
- REMOVE & DISPOSE OF EXISTING FLAG POLE AND UP-LIGHTING.
- REMOVE & DISPOSE OF EXISTING RAISED PLANTERS.
- REMOVE & DISPOSE OF EXISTING MONUMENT SIGN INCLUDING FOOTINGS.
- REMOVE & DISPOSE OF EXISTING SIGN INCLUDING FOOTINGS.
- REMOVE & DISPOSE OF EXISTING BOLLARDS INCLUDING FOOTINGS.
- REMOVE & DISPOSE OF EXISTING POSTS INCLUDING FOOTINGS.
- REMOVE & DISPOSE OF EXISTING LANDSCAPING.
- REMOVE & DISPOSE OF EXISTING CANOPY INCLUDING COLUMNS. CONTRACTOR TO REMOVE FOOTINGS IN ITS ENTIRETY. BACKFILL WITH WISDOT STRUCTURAL FILL IN 12" LIFTS.
- REMOVE & DISPOSE OF EXISTING AIR CONDITIONING UNIT.
- REMOVE & DISPOSE OF EXISTING GAS METER. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER.
- REMOVE & DISPOSE OF EXISTING ELECTRICAL METER. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER.
- REMOVE & DISPOSE OF EXISTING LIGHT POLE. REFER TO SITE ELECTRICAL PLAN FOR MORE INFORMATION.
- EXISTING TREE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- REMOVE & DISPOSE OF EXISTING STORM SEWER.
- EXISTING SANITARY STRUCTURE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- EXISTING SANITARY LINE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- EXISTING VALVE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- EXISTING WATER MAIN TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- EXISTING OVERHEAD WIRE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- EXISTING OVERHEAD POLE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- REMOVE AND DISPOSE OF EXISTING GAS LINE. COORDINATE REMOVAL AND CAPPING AT EXISTING MAINLINE WITH EXISTING UTILITY OWNER.
- REMOVE AND DISPOSE OF EXISTING FIBER OPTIC LINE. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER.
- REMOVE AND DISPOSE OF EXISTING ROCKS.



DIGGERS HOTLINE
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www.DiggersHotline.com

W. NATIONAL AVE.

PROJECT:
TRUSTONE CREDIT UNION

LOCATION:
12800 W.
NATIONAL AVE.
NEW BERLIN, WI

CLIENT:

RELEASE:
PLAN COMMISSION

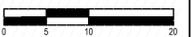
REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:



SCALE: 1" = 10'



SEAL:



SHEET:
SITE LAYOUT PLAN

PROJECT MANAGER: RB
PROJECT NUMBER: 250618.01
DATE: 06/20/2025

SHEET NUMBER:
C102



DIGGERS HOTLINE
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KEY INDEX

- PROJECT LIMITS
- PROPERTY LINE
- EASEMENT LINE
- AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
- ASPHALTIC CONCRETE
1.75" SURFACE COURSE
2.25" BINDER COURSE
12.00" AGGREGATE BASE COURSE
- CONCRETE SLAB
5.00" CONCRETE
4.00" AGGREGATE BASE COURSE
- HEAVY DUTY CONCRETE PAVEMENT
7.00" CONCRETE
6.00" AGGREGATE BASE COURSE
- HIGH-SIDE CONCRETE CURB & GUTTER
18" BARRIER UNLESS OTHERWISE NOTED
- LOW-SIDE CONCRETE CURB & GUTTER
18" BARRIER UNLESS OTHERWISE NOTED
- DEPRESSED CONCRETE CURB & GUTTER
18" DEPRESSED UNLESS OTHERWISE NOTED
- INTEGRAL CURB
- TRANSITION FROM 18" BARRIER CURB & GUTTER TO ZERO FACE CURB & GUTTER.
- ACCESSIBILITY RAMP WITH TRUNCATED DOME DETECTABLE WARNING FIELDS.
- ACCESSIBILITY RAMP WITH TRUNCATED DOME DETECTABLE WARNING FIELDS.
- CONCRETE DRIVE THRU ISLAND. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
- DRIVE THRU CANOPY AND EQUIPMENT. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 6" STEEL BOLLARDS
- MONUMENT SIGN. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
- LIGHT POLE. REFER TO SITE ELECTRICAL PLAN FOR MORE INFORMATION.
- AIR CONDITIONING UNITS.
- TRANSFORMER. REFER TO SITE ELECTRICAL PLAN FOR MORE INFORMATION.
- TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.

W. NATIONAL AVE.

PROJECT:
TRUSTONE CREDIT UNION

LOCATION:
12800 W.
NATIONAL AVE.
NEW BERLIN, WI

CLIENT:

RELEASE:
PLAN COMMISSION

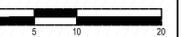
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#	DATE	DESCRIPTION

NORTH ARROW:



SCALE: 1" = 10'



SEAL:



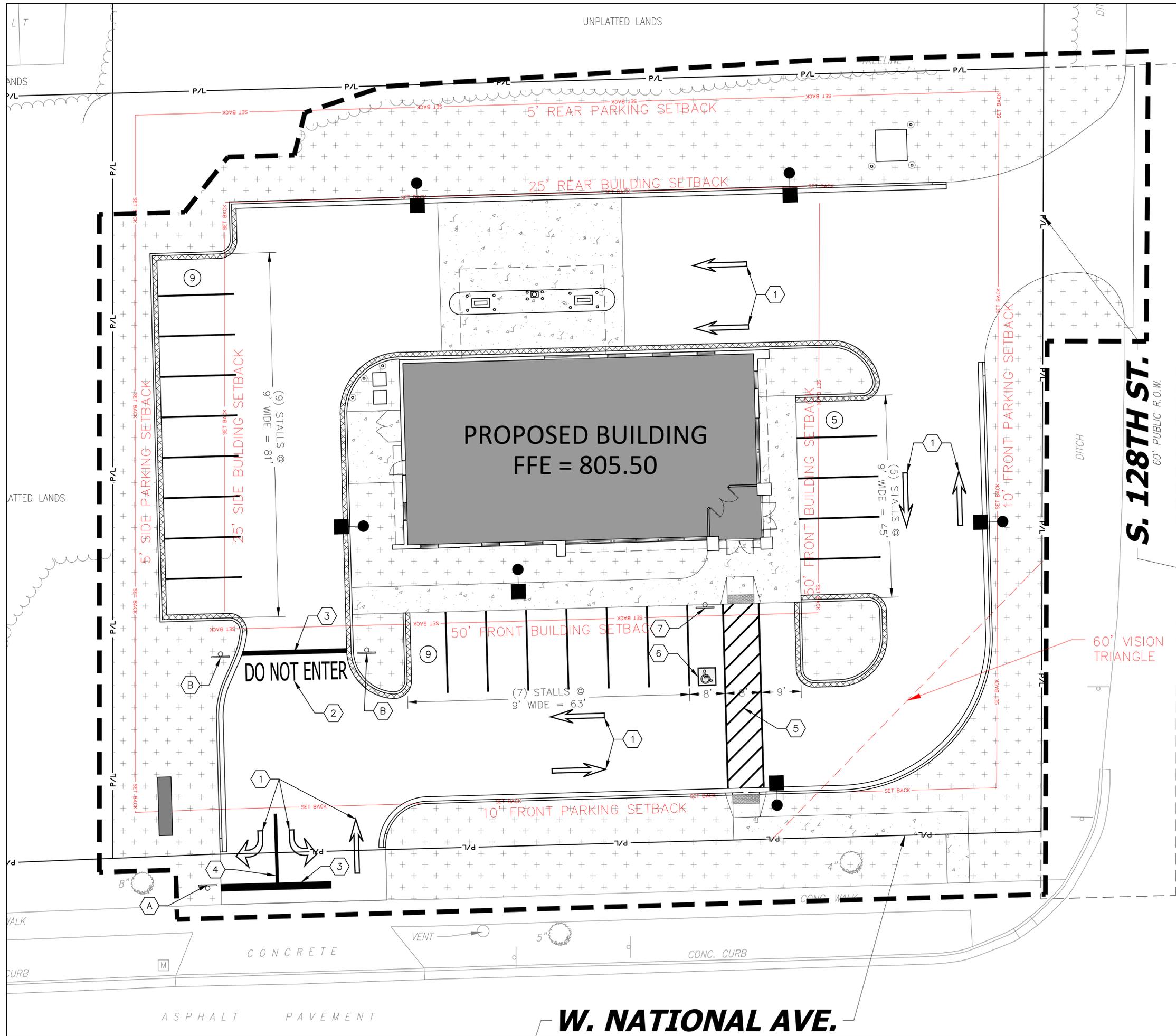
all in 06/20/25

SHEET:
SITE SIGNAGE &
TRAFFIC CONTROL
PLAN

PROJECT MANAGER: RB
PROJECT NUMBER: 250618.01
DATE: 06/20/2025

SHEET NUMBER:

C103



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SIGN INDEX

(A) **STOP** R1-1 30" X 30"

(B) **DO NOT ENTER** R5-1 30" X 30"

KEY INDEX

- PROJECT LIMITS
- PROPERTY LINE
- EASEMENT LINE
- PAVEMENT MARKING ARROWS, LATEX PAVEMENT MARKING PAINT, WHITE (SEE WDOT PAVEMENT MARKING S.D.D.)
- PAVEMENT MARKING WORDS, LATEX PAVEMENT MARKING PAINT, WHITE (SEE WDOT PAVEMENT MARKING S.D.D.)
- PAVEMENT MARKING STOP LINE, LATEX PAVEMENT MARKING PAINT, WHITE (SEE WDOT PAVEMENT MARKING S.D.D.)
- PAVEMENT MARKING MAINLINE, LATEX PAVEMENT MARKING PAINT, 4" WHITE (SEE WDOT PAVEMENT MARKING S.D.D.)
- 4" WHITE PAINT 36" O.C. FOR DIAGONALS
- NEW ACCESSIBLE PARKING SYMBOL
- NEW ACCESSIBLE SIGNS

W. NATIONAL AVE.

PROJECT:
TRUSTONE CREDIT UNION

LOCATION:
12800 W.
NATIONAL AVE.
NEW BERLIN, WI

CLIENT:

RELEASE:
PLAN COMMISSION

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:



SCALE: 1" = 10'



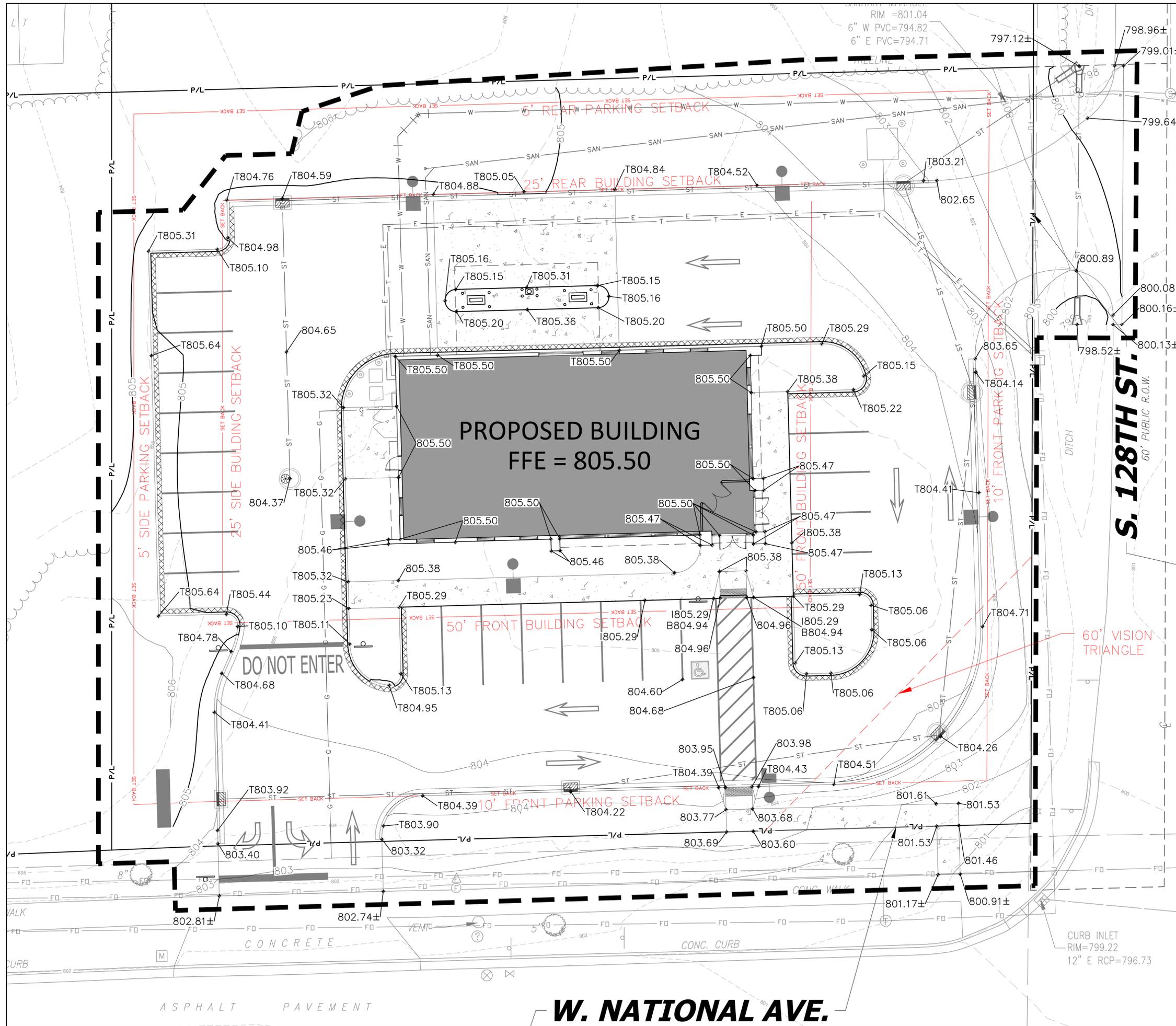
SEAL:



SHEET:
SITE GRADING PLAN

PROJECT MANAGER: RB
PROJECT NUMBER: 250618.01
DATE: 06/20/2025

SHEET NUMBER:
C104



Dial 811 or (800)242-8511
www.DiggersHotline.com

GRADING NOTES

GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

KEY INDEX

- PROJECT LIMITS
- PROPERTY LINE
- 804 - EXISTING CONTOUR MINOR
- 805 - EXISTING CONTOUR MAJOR
- 799 - PROPOSED CONTOUR MINOR
- 800 - PROPOSED CONTOUR MAJOR
- 804.00 - PROPOSED SPOT GRADE
- 803.00± - MATCH EXISTING GRADE
- 802.00 - PROPOSED TOP OF CURB GRADE. REFER TO SITE LAYOUT PLANS FOR MORE INFORMATION. GUTTER IS 6" BELOW TOP OF CURB UNLESS OTHERWISE NOTED.
- 801.00 - PROPOSED TOP OF INTEGRAL CURB GRADE. REFER TO SITE LAYOUT PLANS FOR MORE INFORMATION. PAVEMENT IS 6" BELOW TOP OF CURB UNLESS OTHERWISE NOTED.

W. NATIONAL AVE.

PROJECT:
TRUSTONE CREDIT UNION

LOCATION:
12800 W.
NATIONAL AVE.
NEW BERLIN, WI

CLIENT:

RELEASE:
PLAN COMMISSION

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:



SCALE: 1" = 10'



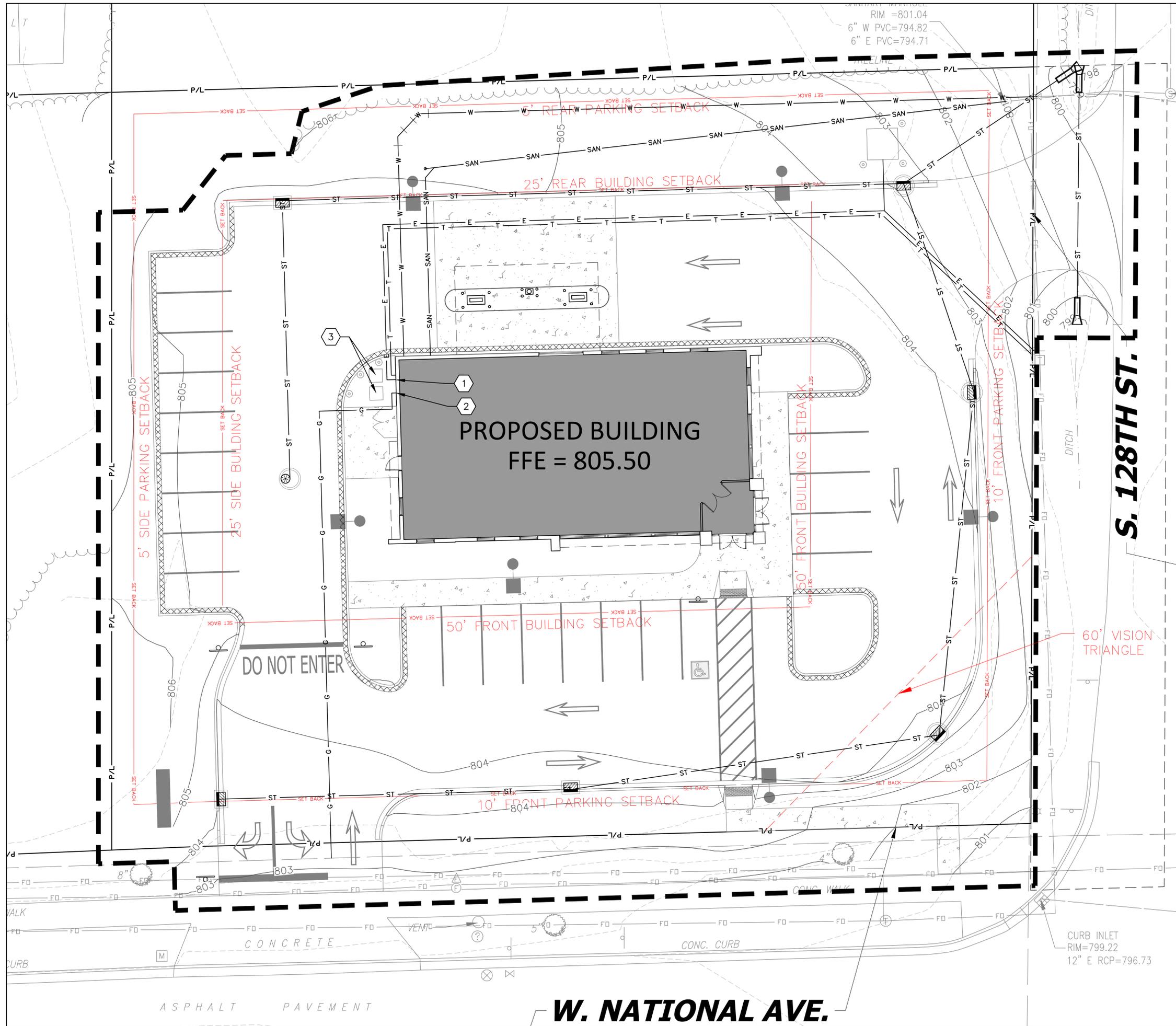
SEAL:



SHEET:
SITE UTILITY PLAN

PROJECT MANAGER: RB
PROJECT NUMBER: 250618.01
DATE: 06/20/2025

SHEET NUMBER:
C105



Dial 811 or (800)242-8511
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UTILITY NOTES

- CAUTION** KNOWN UTILITY AND POTENTIAL CONFLICT EXIST WITH EXISTING UNDERGROUND UTILITIES. PRIOR TO UTILITY INSTALLATION, CONTRACTOR TO EXCAVATE AND EXPOSE EXISTING UTILITIES, VERIFY LOCATIONS AND ELEVATIONS, AND CONTACT ENGINEER IF CONFLICTS EXIST WITH PROPOSED CONSTRUCTION AND EXISTING UNDERGROUND UTILITIES.
- PER PROJECT SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, THE POINT OF COMMENCEMENT FOR THE LAYING OF SEWER PIPE SHALL BE AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. THE PIPE SHALL BE LAID WITH THE BELL END OF THE BELL AND SPIGOT PIPE, OR WITH THE RECEIVING GROOVE, END OF THE TONGUE AND GROOVE PIPE, POINTING UPGRADE. WHEN A NEW SEWER IS TO BE CONNECTED TO AN EXISTING SEWER NOT TERMINATING IN A MANHOLE, THE CONTRACTOR SHALL UNCOVER THE EXISTING SEWER TO ALLOW ANY ADJUSTMENTS IN LINE AND GRADE TO BE MADE BEFORE PIPE IS LAID.
 - THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WDNR, STATE OR LOCAL PLUMBING, WOOD, COUNTY, AND STORM WATER MANAGEMENT.
 - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
 - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
 - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND/OR RELOCATION OF ALL EXISTING UTILITIES FROM EXISTING BUILDINGS AND WITHIN THE PROJECT LIMITS, INCLUDING BUT NOT LIMITED TO ELECTRICAL/FIBER OPTIC/TELEPHONE/CABLE/GAS/WATER/SANITARY/STORM. DEMOLITION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, & LOCAL REGULATIONS.
 - FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.

KEY INDEX

- PROJECT LIMITS
- PROPERTY LINE
- RECTANGULAR STORM CATCH BASIN WITH CURB BOX FRAME & GRATE
- STORM CATCH BASIN WITH CURB BOX FRAME & GRATE
- RCP APRON ENDWALL
- WATER MAIN BEND
- ST - STORM SEWER
- SAN - SANITARY SEWER
- W - WATER MAIN
- G - GAS ROUTING (FOR REFERENCE), CONTRACTOR TO COORDINATE FINAL LOCATION WITH GAS UTILITY.
- T - TELECOMMUNICATION ROUTING (FOR REFERENCE), CONTRACTOR TO COORDINATE FINAL LOCATION WITH TELECOMMUNICATION UTILITY.
- E - ELECTRIC ROUTING (FOR REFERENCE), CONTRACTOR TO COORDINATE FINAL LOCATION WITH ELECTRIC UTILITY.
- 1 - ELECTRIC METER, CONTRACTOR TO COORDINATE INSTALLATION WITH UTILITY OWNER.
- 2 - GAS METER, CONTRACTOR TO COORDINATE INSTALLATION WITH UTILITY OWNER.
- 3 - AIR CONDITIONING UNITS.

W. NATIONAL AVE.

PROJECT:
TRUSTONE CREDIT UNION

LOCATION:
12800 W.
NATIONAL AVE.
NEW BERLIN, WI

CLIENT:

RELEASE:
PLAN COMMISSION

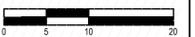
REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:



SCALE: 1" = 10'



SEAL:

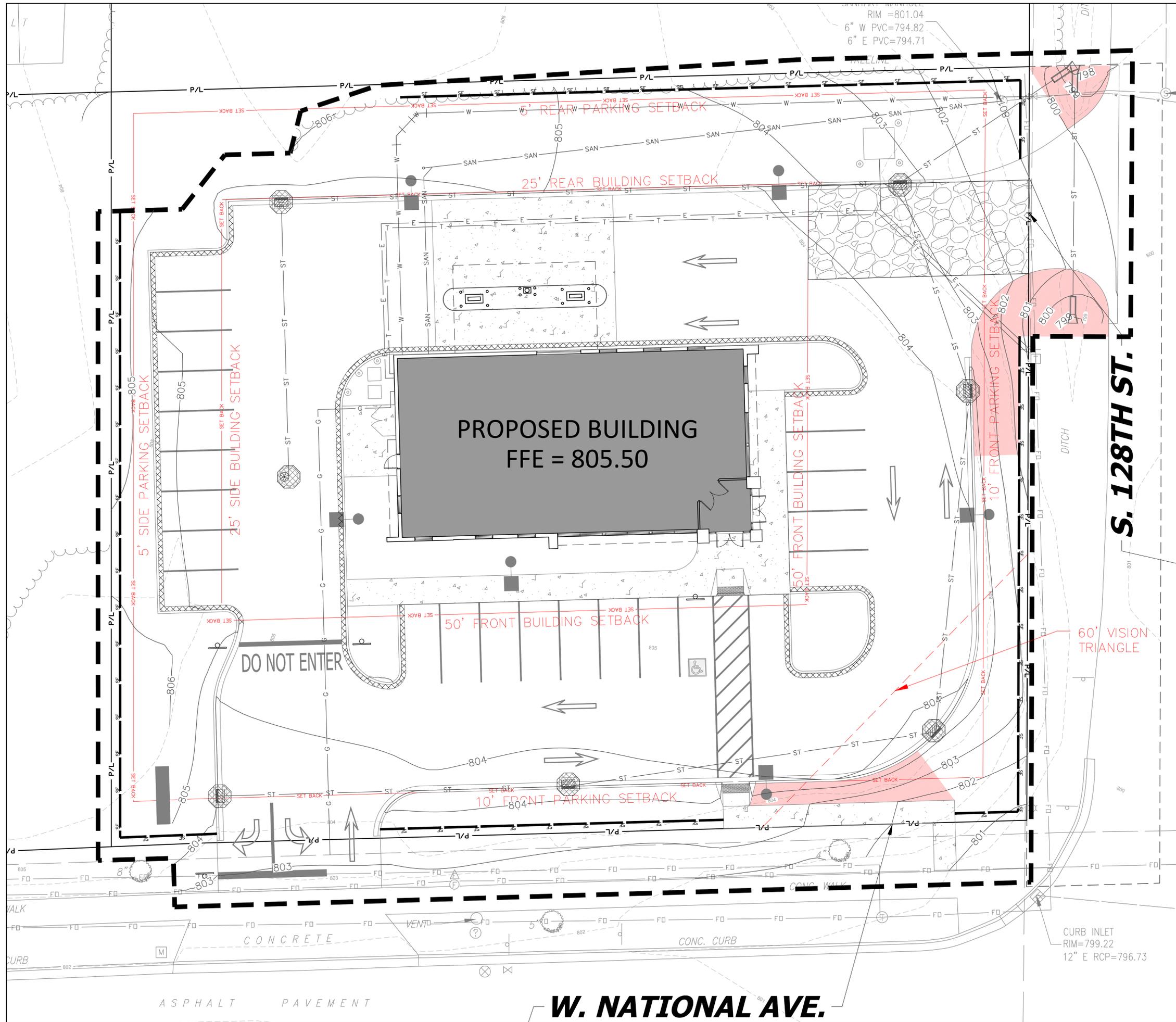


all in 06/20/25

SHEET:
SITE EROSION CONTROL PLAN

PROJECT MANAGER: RB
PROJECT NUMBER: 250618.01
DATE: 06/20/2025

SHEET NUMBER:
C106



Dial 811 or (800)242-8511
www.DiggersHotline.com

EROSION NOTES

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS AND WIDES PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLAINS UNLESS IDENTIFIED IN THE PLANS.

POINTS OF CONTACT

LAND OWNER:
DALE TURNER - PRESIDENT AND CEO
TRUSTONE FINANCIAL CREDIT UNION
14604 27TH AVENUE NORTH SUITE 104
PLYMOUTH, MN 55447
PHONE: (763) 544-1517

PROJECT ENGINEER:
RYAN BIRSCHBACH, P.E.
KAPUR & ASSOCIATES, INC.
788 N. JEFFERSON STREET SUITE 900
MILWAUKEE, WI 53202
PHONE: (262) 758-6035

CONSTRUCTION MANAGER:
TBD

KEY INDEX

- PROJECT LIMITS
- PROPERTY LINE
- INSTALL EROSION MAT ON ALL SLOPES GREATER THAN 4:1 AND ALL DRAINAGE SWALES
- USE CLASS I, TYPE A FROM WISDOT PRODUCT APPROVED LIST FOR ALL SIDE SLOPES
- USE CLASS II, TYPE B FOR ALL DRAINAGE SWALES. INSTALL EROSION MAT ON THE BOTTOM OF AND A MINIMUM OF 2 FEET VERTICALLY UP THE SIDE SLOPES OF ALL DRAINAGE SWALES. CLASS I, TYPE A MAY BE USED FOR THE REMAINDER OF THE SIDE SLOPES IN DRAINAGE SWALES EXCEEDING 2 FEET VERTICALLY.
- FILTER FABRIC FENCE
- STONE TRACKING PAD REQUIRED. LOCATION TO BE DETERMINED BY SELECTED CONTRACTOR'S APPROVED WORK PLAN.
- DESIGNATES PROPOSED INLETS THAT MUST BE PROTECTED AFTER THEY HAVE BEEN CONSTRUCTED.

PROJECT:
TRUSTONE CREDIT UNION

LOCATION:
12800 W.
NATIONAL AVE.
NEW BERLIN, WI

CLIENT:

RELEASE:
PLAN COMMISSION

REVISIONS:

#	DATE	DESCRIPTION
6		
7		

NORTH ARROW:



SCALE: 1" = 10'



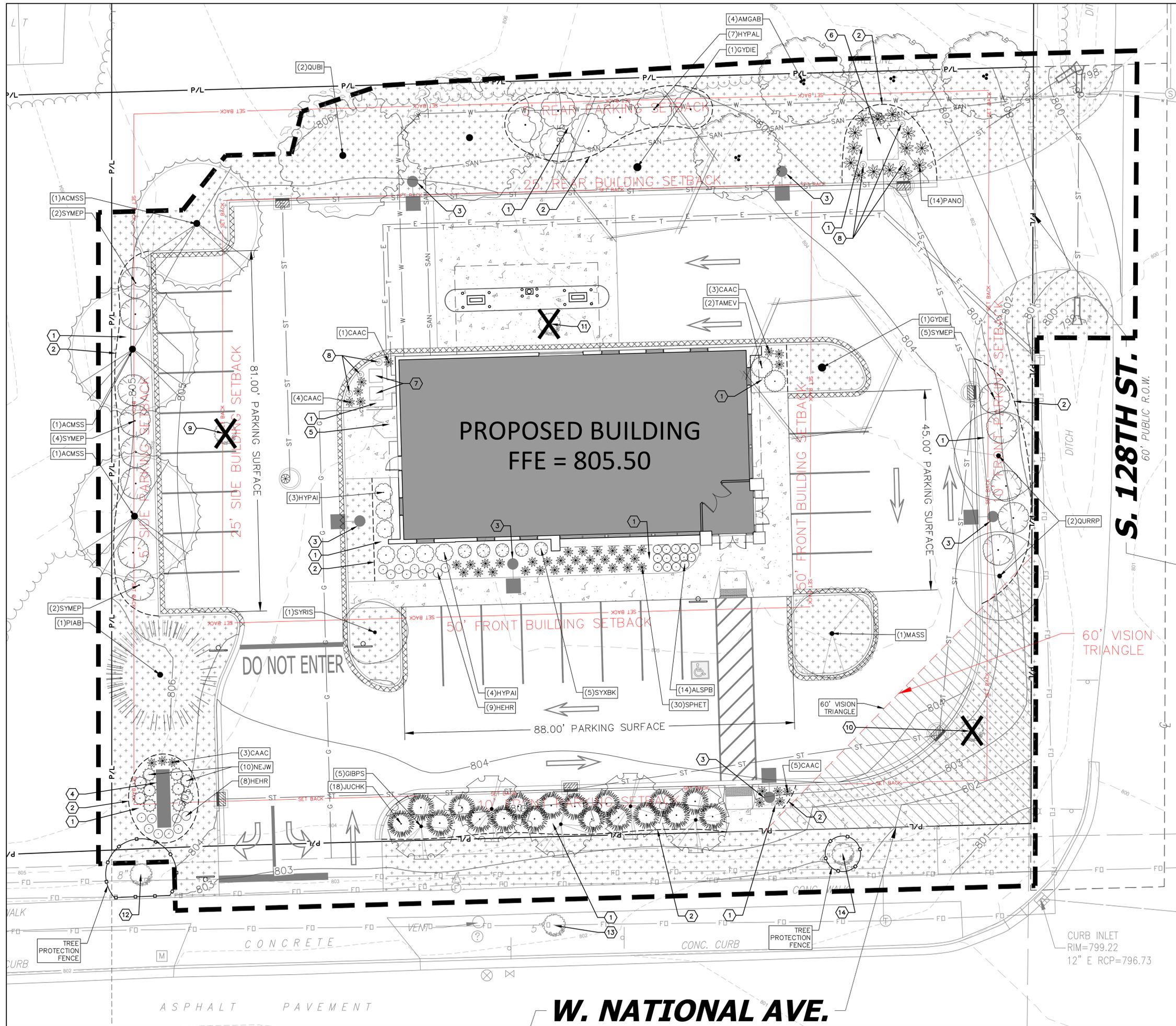
SEAL:



SHEET:
SITE LANDSCAPE PLAN

PROJECT MANAGER: RB
PROJECT NUMBER: 250618.01
DATE: 06/20/2025

SHEET NUMBER:
L101



DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

HATCH LEGEND

- PROJECT LIMITS
- PROPERTY LINE
- EASEMENT LINE
- TEMPORARY TREE PROTECTION FENCE
- ALUMINUM EDGING
- AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, TURF GRASS SEED, FERTILIZER, AND STRAW EROSION BLANKET. USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
- PLANT "CODE" REFERENCES TO THE PLANT SCHEDULE
- QUANTITY OF PLANTS IN THE PLANT GROUPING
- LEADER LINE
- PLANT SYMBOL (SYMBOL VARIES)

KEY INDEX

- SHREDDED HARDWOOD MULCH
- ALUMINUM EDGING AT PLANTING BED
- LIGHT POLE (SEE SITE LIGHTING PLAN FOR OFFICAL LOCATIONS)
- MONUMENT SIGN (SEE CIVIL AND ARCHITECTURAL PLANS)
- TRASH ENCLOSURE (SEE CIVIL AND ARCHITECTURAL PLANS)
- TRANSFORMER (SEE CIVIL PLANS)
- AIR CONDITIONER CONDENSORS (SEE CIVIL PLANS)
- BOLLARDS (SEE CIVIL PLANS)
- EXISTING 8" DBH WALNUT TO BE REMOVED (SEE SITE DEMOLITION PLAN)
- EXISTING 8" DBH MAPLE TO BE REMOVED (SEE SITE DEMOLITION PLAN)
- EXISTING 10" DBH CRIMSON KING MAPLE TO BE REMOVED (SEE SITE DEMOLITION PLAN)
- EXISTING 8" DBH HACKBERRY (TO REMAIN - PROTECT FROM DAMAGE DURING CONSTRUCTION)
- EXISTING 5" DBH HACKBERRY (TO REMAIN - PROTECT FROM DAMAGE DURING CONSTRUCTION)
- EXISTING 4" DBH MAPLE (TO REMAIN - PROTECT FROM DAMAGE DURING CONSTRUCTION)

W. NATIONAL AVE.

PROJECT:
TRUSTONE CREDIT UNION

LOCATION:
12800 W. NATIONAL AVE.
NEW BERLIN, WI

CLIENT:

RELEASE:
PLAN COMMISSION

#	DATE	DESCRIPTION



SHEET:
SITE LANDSCAPE DETAILS

PROJECT MANAGER: RB
PROJECT NUMBER: 250618.01
DATE: 06/20/2025

SHEET NUMBER:
L201

LANDSCAPE CALCULATIONS

City of New Berlin Landscaping Requirements

Site Zoning = O-1 (Office and Business Service District)
Property to west zoning = B-2 (General Retail Sales & Service District)
Property to north zoning = Rd-1 (Two-Family Residential)
South side of site = National Avenue(Arterial Street)
East side of site = 128th Street (Nonarterial Street)

General Landscape Requirements

	Required	Provided
Plant protection		
All planting beds shall be provided with weed barriers, mulched, and provided with a permanent edge or curbing.	Required	Weed barrier, shredded hardwood mulch and aluminum edging provided
Species Mix		
The following minimum species mix requirements shall apply to any development:		
10-19 Trees on Site	Maximum 50% of any 1 tree species	N/A - greater than 19 trees proposed
20-39 Trees on Site	Maximum 40% of any 1 tree species	(5 same species)/(21 total trees) = 23.8% max. of 1 tree species
40-59 Trees on Site	Maximum 30% of any 1 tree species	N/A - fewer than 40 trees proposed
60+ Trees on Site	Maximum 20% of any 1 tree species	N/A - fewer than 60 trees proposed
Plant sizes		
Deciduous Trees		
Minimum of 50% of the proposed deciduous trees shall have a minimum size of 4" DBH	50% Deciduous trees shall be minimum 4" DBH	(11 trees min. 4" dbh)/(21 total trees)=52.3% Deciduous trees are minimum 4" DBH
All remaining deciduous trees shall have a minimum size of 2" DBH	All remaining deciduous trees shall be minimum 2" DBH	All remaining deciduous trees are minimum 2" DBH
Evergreen Trees		
Minimum of 50% of the proposed evergreen trees shall have a minimum height of 8'	50% Evergreen trees shall be minimum height of 8'	100% Evergreen trees are minimum height of 8'
All remaining evergreen trees shall have a minimum height of 6'	All remaining evergreen trees shall be minimum height of 6'	All remaining evergreen trees are minimum height of 6'
Ornamental Trees		
All ornamental trees shall have a minimum size of 2" DBH	All ornamental trees shall be minimum 2" DBH	All ornamental trees area a minimum 2" DBH
Shrubs		
All shrubs shall be from 5-gallon or greater containers	All shrubs shall be minimum 5-gallon container size	All shrubs are minimum 5-gallon container size

On-site Landscape Requirements

	Required	Provided
Total Greenspace within project site = 11,886 square feet		
Landscaping Requirements for Multifamily and Nonresidential uses		
All multifamily and nonresidential land uses shall install at least 1 tree and 3 shrubs for every 3,600 square feet of lot area covered by open space. This landscaping shall be in addition to any parking lot perimeter requirements. This landscaping may be credited toward the parking interior landscaping requirements.		
Tree requirement (11,886 sf greenspace/3,600 sf) x 1 tree = 3.3 trees required	4 Trees required	4 Trees provided
Shrub requirement (11,886 sf greenspace/3,600 sf) x 3 shrubs = 9.9 shrubs required	10 Shrubs required	14 Shrubs provided outside of parking lot perimeter landscaping
A minimum of 60% of the required landscaping shall be located in the front yard	60% of the landscaping shall be in the front yard	(11 trees and shrubs in front yard)/(18 total trees and shrubs) = 61.1% of the landscaping is provided in the front yard
Living plant materials shall comprise no less than 50% of the required planting beds.	50% of planting beds shall be living plant materials	Greater than 50% of planting beds are living plant materials

Parking Lot Landscape Requirements

	Required	Provided
Total Parking Stalls = 23 stalls provided		
Parking surface adjacent to W. National Avenue (Arterial Street) = 88 lf		
Parking surface adjacent to S. 128th Street (Nonarterial Street) = 45 lf		
Parking surface adjacent to side lot line (West side of lot) = 80 lf		
Parking surface adjacent to rear lot line (North side of lot) = N/A (no parking surfaces)		
Perimeter landscaping		
All parking lots containing five or more spaces shall provide perimeter landscaping	Perimeter landscaping required	Perimeter landscaping provided
Parking surface adjacent to arterial streets landscape requirements (W. National Ave.)		
Minimum 1 shade or evergreen tree per 20 linear feet of parking surface	(88 lf of parking surface/20 lf) x 1 tree = 4.4 trees required	5 shade or evergreen trees provided
Minimum 1 shrub per 5 linear feet of parking surface	(88 lf of parking surface/5 lf) x 1 shrub = 17.6 shrubs required	18 shrubs provided
Parking surface adjacent to nonarterial streets landscape requirements (S. 128th St.)		
Minimum 1 shade or evergreen tree per 30 linear feet of parking surface	(45 lf of parking surface/30 lf) x 1 tree = 1.5 trees required	2 shade or evergreen trees provided
Minimum 1 shrub per 10 linear feet of parking surface	(45 lf of parking surface/10 lf) x 1 shrub = 4.5 shrubs required	5shrubs provided
Parking surface adjacent to side lot line landscape requirements (West side of lot)		
Minimum 1 shade or evergreen tree per 30 linear feet of parking surface	(80 lf of parking surface/30 lf) x 1 tree = 2.7 trees required	3 shade or evergreen trees provided
Minimum 1 shrub per 5 linear feet of parking surface	(80 lf of parking surface/10 lf) x 1 shrub = 8 shrubs required	8 shrubs provided
Parking lot interior landscaping		
All parking lots with 40 or more parking spaces shall provide interior parking lot landscaping.	N/A (Less than 40 parking spaces provided)	N/A (Less than 40 parking spaces provided)
Each individual landscaped island shall include a minimum of one tree and two shrubs.	N/A (Less than 40 parking spaces provided)	N/A but tree still provided
Landscaped islands shall be at least 170 sf with the smallest dimension being 6' wide.	N/A (Less than 40 parking spaces provided)	N/A but islands exceed 170 sf and minimum 6' dimension
Plant materials shall be chosen and arranged to maximize the shading of parking spaces.	N/A (Less than 40 parking spaces provided)	N/A but still provided
visibility.	N/A (Less than 40 parking spaces provided)	N/A but still provided
Landscape islands shall be dispersed throughout the parking area.	N/A (Less than 40 parking spaces provided)	N/A but still provided

Buffering and Screening Requirements

	Required	Provided
Site Zoning = O-1 (Office and Business Service District) Proposed Use - Office or Commercial Uses (5000 sf or less)		
Bufferyard		
West Bufferyard - Adjacent zoning B-2 (Office or Commercial Uses (5,000 sf or less))	No bufferyard required	N/A
North Bufferyard - Adjacent zoning Rd-1 (Multifamily residential uses)		
North Bufferyard length = 208 lf		
Type "A" Moderate Bufferyard required	Bufferyard required	Bufferyard provided
Minimum bufferyard width	10' width required	24.8' width provided
Minimum Trees (Deciduous or Ornamental)(3 per 100 lf)	(208 lf/100 lf) x 3 trees = 6.24 trees required	7 trees provided
Minimum Evergreen Trees (none per 100 lf)	none evergreen trees required	no evergreen trees provided
Minimum Shrubs (3 per 100 lf)	(208 lf/100 lf) x 3 shrubs = 6.24 shrubs required	7 shrubs provided
Screening of mechanical equipment and dumpsters		
Screening of dumpsters		
Any side of a dumpster that is not used for access and is visible from a public right-of-way shall be screened from view by a solid wall with a minimum height of six feet. The wall shall be architecturally compatible with other building and structures on the site.	See architectural drawings	See architectural drawings

Plant Schedule

Code	Scientific Name	Common Name	Quantity	Spacing	Install Size	Mature Size (Height/Spread)
Canopy Trees: (Install in accordance with detail 1/L202)						
ACMSS	Acer miyabei 'Morton'	State Street Miyabei Maple	3	Per Plan	4" DBH B&B	50'/40'
GIBPS	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo (male)	5	Per Plan	2.5" DBH B&B	40'/15'
GYDIE	Gymnocladus dioicus 'Espresso'	Espresso Kentucky Coffee Tree	2	Per Plan	5" DBH B&B	50'/35'
QUBI	Quercus bicolor	Swamp White Oak	2	Per Plan	5" DBH B&B	50'/40'
QURRP	Quercus robur x bicolor 'Long' PP12,673	Regal Prince Oak	2	Per Plan	5" DBH B&B	45'/18'
Ornamental Trees: (Install in accordance with detail 1/L202)						
AMGAB	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4	Per Plan	10' multi-stem B&B	20'-25'/20'-25'
MASS	Malus x 'Spring Snow'	Spring Snow Crabapple	1	Per Plan	2" DBH B&B	20-25'/15-20'
SYRIS	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1	Per Plan	2.5" DBH B&B	25'/15'
Evergreen Trees: (Install in accordance with detail 2/L202)						
PIAB	Picea abies	Norway Spruce	1	Per Plan	8' tall B&B	50'-70'/25'-30'
Deciduous Shrubs: (Install in accordance with detail 3/L202)						
HYPAL	Hydrangea paniculata 'ILVOBO' PP22,782	Bobo Hydrangea	7	Per Plan	5-gallon container	3'/3'-4'
HYPAL	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	7	Per Plan	5-gallon container	6'-8'/6'-8'
SYMEP	Syringa meyeri 'Palibin'	Meyer Lilac (Dwarf Korean Lilac)	13	Per Plan	5-gallon container	4'-5'/5'-7'
SYXBK	Syringa x 'SMNSDTP'	Baby Kim Lilac	5	Per Plan	5-gallon container	2'-3'/2.5'-3'
Evergreen Shrubs: (Install in accordance with detail 3/L202)						
JUCHK	Juniperus chinensis 'Pfitzeriana Kallay'	Kallays Compact Juniper	18	Per Plan	5-gallon container	3'/6'-8'
TAMEV	Taxus x media 'Everlow'	Everlow Yew	2	Per Plan	5-gallon container	2'-3'/4'-5'
Perennials: (Install in accordance with detail 4/L202)						
ALSPB	Allium x 'Summer Peek-a-Boo'	Summer Peek-a-Boo Globe Lily	14	Per Plan	#1 cont.	8"-12"/18"-24"
CAAC	Calamagrostis x acutiflora Karl Foerster	Karl Foerster Reed Grass	16	Per Plan	#1 cont.	4'-5'/18"-24"
HEHR	Hemerocallis 'Happy Returns'	Happy Returns Daylily	17	Per Plan	#1 cont.	12"-18"/16"-24"
NEJW	Nepeta x 'Junior Walker'	Junior Walker Catmint	10	Per Plan	#1 cont.	15"-18"/30"-36"
PANO	Panicum virgatum 'Northwinds'	Northwinds Switch Grass	14	Per Plan	#1 cont.	4'-5'/24"-30"
SPHET	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	30	Per Plan	#1 cont.	18"-24"/18"-24"

NOTE: Plant quantities indicated in the plant schedule are for convenience only. Installation contractor is responsible for verifying plant count on the landscape plan. When discrepancies between the plant schedule, labels and the landscape plan occur, the quantity drawn on the landscape plan shall be the official quantity.

1 PLANT SCHEDULE
L201 REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

SIGNIFICANT TREE REPLACEMENT

City of New Berlin

Tree Replacement Standards		
Tree Type	Size of Tree(s) Removed (DBH)	Size of Replacement Tree(s) (DBH)
Deciduous	5 to 7 inches	(1) tree at 5 to 7 inches or (3) trees at 2.5 to 4 inches
	8 to 11 inches	(3) trees at 5 to 7 inches or (9) trees at 2.5 to 4 inches
	12 inches or larger	(6) trees at 5 to 7 inches or (12) trees at 2.5 to 4 inches
Evergreen	10 feet or taller	(1) tree that is 10 feet or taller, or (3) trees that are 8 to 10 feet tall, or (6) trees that are 6 to 8 feet tall
Significant trees removed	Required Tree Replacement	Provided Replacement
(1) 10" DBH Crimson King Maple	(3) trees at 5 to 7 inches or (9) trees at 2.5 to 4 inches	(3) trees at 5" DBH provided
(1) 8" DBH Maple	(3) trees at 5 to 7 inches or (9) trees at 2.5 to 4 inches	(3) trees at 5" DBH provided
(1) 8" DBH Walnut	(3) trees at 5 to 7 inches or (9) trees at 2.5 to 4 inches	(9) trees at 2.5" to 4" DBH provided

2 SIGNIFICANT TREE REPLACEMENT
L201 REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

3 LANDSCAPE CALCULATIONS
L201 REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

PROJECT:
TRUSTONE CREDIT UNION

LOCATION:
**12800 W. NATIONAL AVE.
NEW BERLIN, WI**

CLIENT:

RELEASE:
PLAN COMMISSION

REVISIONS:

#	DATE	DESCRIPTION

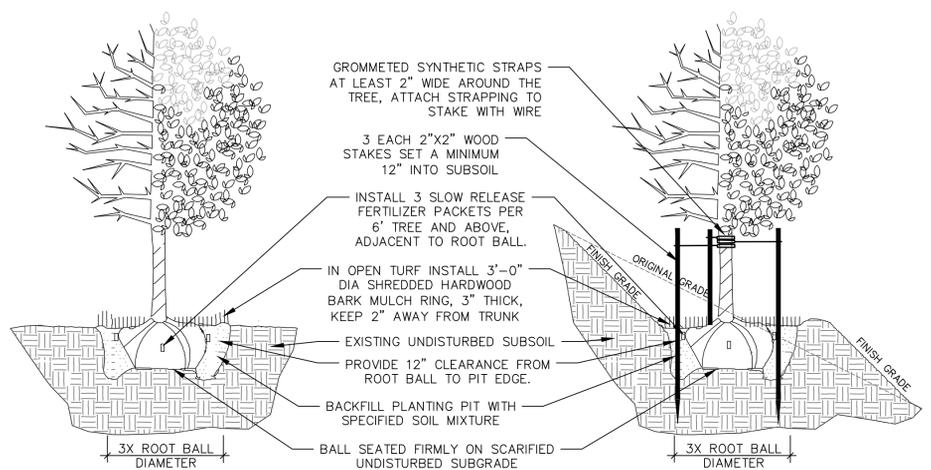
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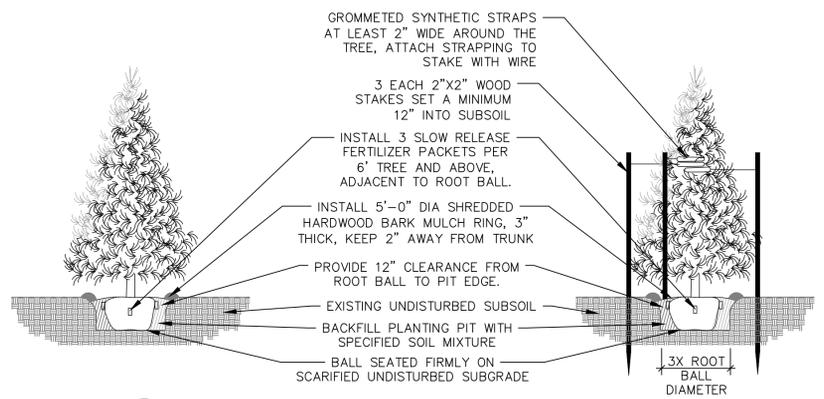
SHEET:
SITE LANDSCAPE DETAILS

PROJECT MANAGER: RB
PROJECT NUMBER: 250618.01
DATE: 06/20/2025

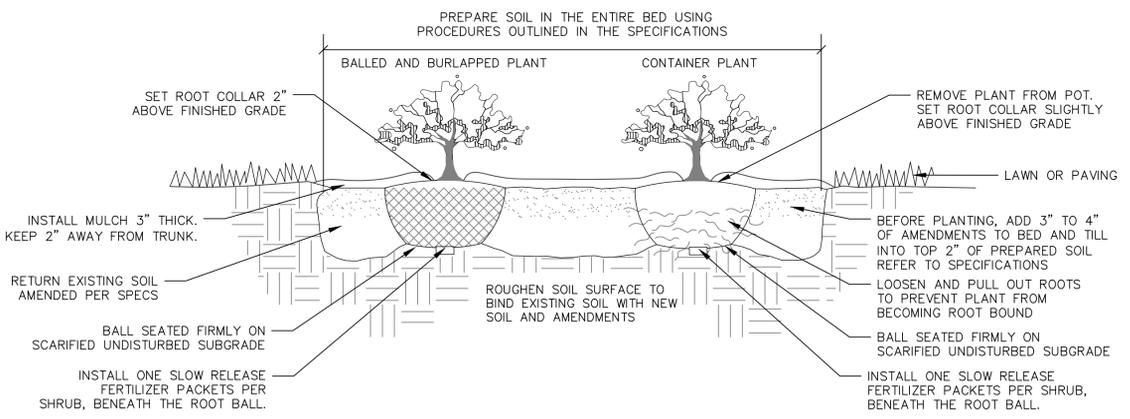
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L202



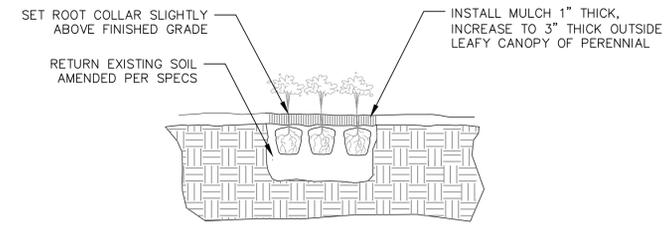
1 DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE
N.T.S.



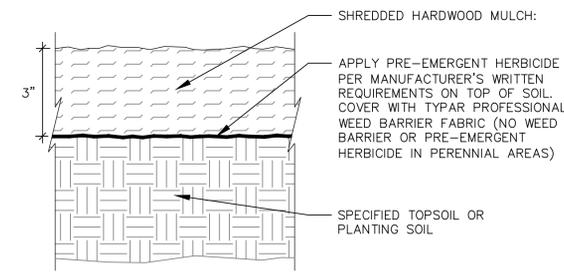
2 EVERGREEN TREE PLANTING & STAKING
N.T.S.



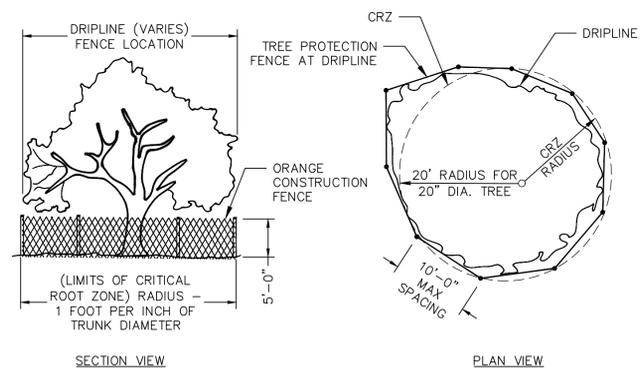
3 DECIDUOUS & EVERGREEN SHRUB PLANTING
N.T.S.



4 PERENNIAL PLANTING
N.T.S.

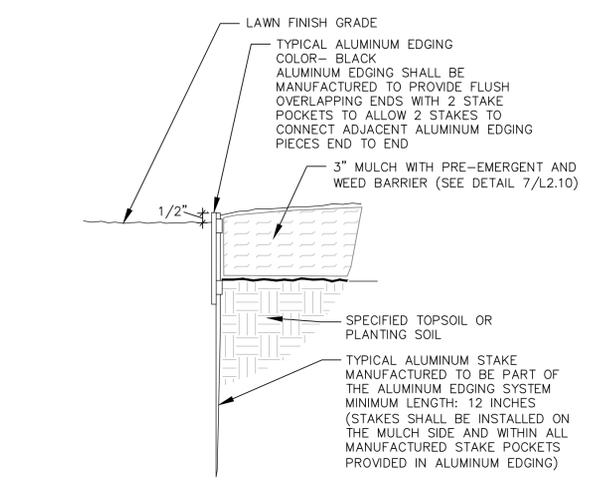


5 SHREDDED HARDWOOD MULCH SECTION
N.T.S.



- NOTES:
- ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION ON THE PLANS, SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING AS SHOWN.
 - TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
 - EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIPLINES.
 - FENCES SHALL COMPLETELY SURROUND THE TREE OR CLUSTERS OF TREES, LOCATED AT THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIPLINE) OR CRITICAL ROOT ZONE (CRZ), WHICHEVER IS GREATER.
 - ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL AND BACKFILLED WITH GOOD QUALITY TOP SOIL WITHIN TWO DAYS. IF EXPOSED ROOT AREAS CANNOT BE BACKFILLED WITHIN 2 DAYS, AN ORGANIC MATERIAL WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION SHALL BE PLACED TO COVER THE ROOTS UNTIL BACKFILL CAN OCCUR.
 - PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIPLINES, A CLEAN CUT SHALL BE MADE WITH A ROCK SAW OR SIMILAR EQUIPMENT, TO MINIMIZE DAMAGE TO REMAINING ROOTS.
 - NO LANDSCAPE TOPSOIL DRESSING GREATER THAN FOUR (4) INCHES SHALL BE PERMITTED WITHIN THE DRIPLINE OR CRZ OF TREES, WHICHEVER IS GREATER. NO TOPSOIL IS PERMITTED ON ROOT FLARES OF ANY TREE.
 - PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND CONSTRUCTION EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS. ALL PRUNING MUST BE DONE AS OUTLINED IN LITERATURE PROVIDED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA PRUNING TECHNIQUES).
 - CONTRACTOR SHALL REMOVE TREE PROTECTION FENCING AND REPAIR LANDSCAPE DAMAGED BY REMOVAL ACTIVITIES WHEN ALL CONSTRUCTION ACTIVITIES ARE COMPLETE.

6 TREE PROTECTION FENCE PLAN AND SECTION
N.T.S.



7 ALUMINUM EDGING AT PLANTING BED SECTION
N.T.S.

- ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES" PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
- CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
- WOOD MULCH TO BE FRESHLY ACQUIRED SHREDDED HARDWOOD MULCH. DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
- LANDSCAPE EDGING TO BE ALUMINUM EDGING. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF SHREDDED HARDWOOD MULCH OVER TYPAR PROFESSIONAL WEED BARRIER FABRIC WITH EDGING. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ADJUT TO PREVENT SHREDDED HARDWOOD MULCH FROM SPILLING OUT OF PLANTING AREA.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
- REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
- REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
- PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
- PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
- PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
- PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM
- WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
- FOR INDIVIDUAL TREES & SHRUBS PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
- INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
- STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES - UTILIZE GROMMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE. ATTACH STRAPPING TO STAKE WITH WIRE. STAKE ONLY WHEN NECESSARY. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
- REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.

8 LANDSCAPE NOTES
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

PROJECT:
TRUSTONE CREDIT UNION

LOCATION:
12800 W.
NATIONAL AVE.
NEW BERLIN, WI

CLIENT:

RELEASE:
PLAN COMMISSION

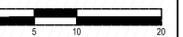
REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:



SCALE: 1" = 10'



SEAL:



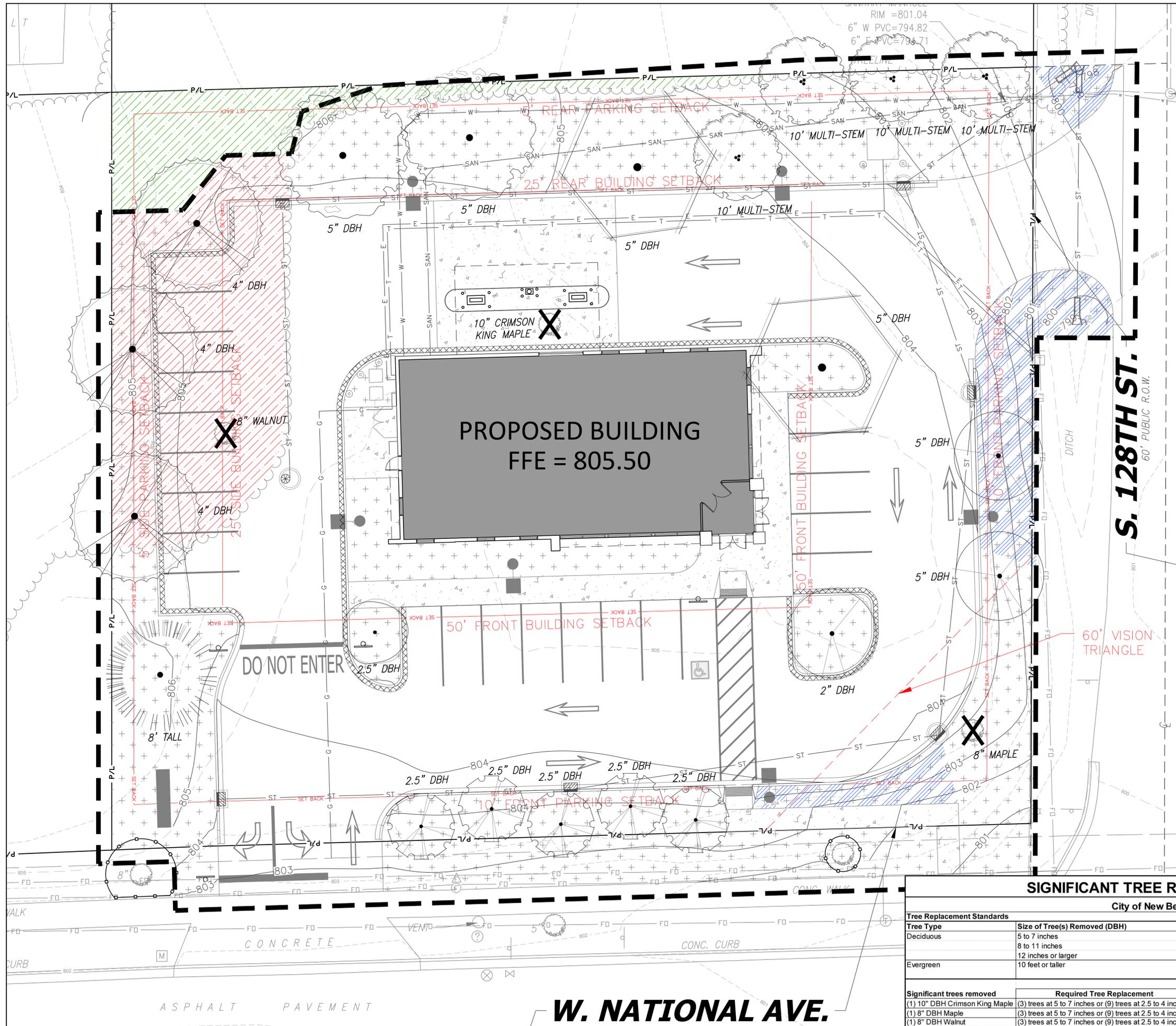
all in 06/20/25

SHEET:
NATURAL
RESOURCE
PROTECTION PLAN

PROJECT MANAGER: RB
PROJECT NUMBER: 250618.01
DATE: 06/20/2025

SHEET NUMBER:

L301



DIGGERS HOTLINE

Dial 811 or (800)242-8511

www.DiggersHotline.com

HATCH LEGEND

- PROJECT LIMITS
- PROPERTY LINE
- SIGNIFICANT TREE REMOVAL
- TEMPORARY TREE PROTECTION FENCE
- EXISTING WOODED AREA TO REMAIN
1,164 SF (0.027 ACRES)
- WOODED AREA TO BE DISTURBED BY CONSTRUCTION.
SIGNIFICANT TREE REMOVAL WITHIN AREA NOTED.
3,200 SF (0.073 ACRES)
- SLOPE GREATER THAN 20%
1,503 SF (0.035 ACRES)

SIGNIFICANT TREE REPLACEMENT

City of New Berlin

Tree Replacement Standards		
Tree Type	Size of Tree(s) Removed (DBH)	Size of Replacement Tree(s) (DBH)
Deciduous	5 to 7 inches	(1) tree at 5 to 7 inches or (3) trees at 2.5 to 4 inches
	8 to 11 inches	(3) trees at 5 to 7 inches or (9) trees at 2.5 to 4 inches
	12 inches or larger	(6) trees at 5 to 7 inches or (12) trees at 2.5 to 4 inches
Evergreen	10 feet or taller	(1) tree that is 10 feet or taller, or (3) trees that are 8 to 10 feet tall, or (6) trees that are 6 to 8 feet tall
Significant trees removed		
Required Tree Replacement		
Provided Replacement		
(1) 10" DBH Crimson King Maple	(3) trees at 5 to 7 inches or (9) trees at 2.5 to 4 inches	(3) trees at 5" DBH provided
(1) 8" DBH Maple	(3) trees at 5 to 7 inches or (9) trees at 2.5 to 4 inches	(3) trees at 5" DBH provided
(1) 8" DBH Walnut	(3) trees at 5 to 7 inches or (9) trees at 2.5 to 4 inches	(9) trees at 2.5" to 4" DBH provided

W. NATIONAL AVE.

PROJECT:
TRUSTONE CREDIT UNION

LOCATION:
12800 W.
NATIONAL AVE.
NEW BERLIN, WI

CLIENT:

RELEASE:
PLAN COMMISSION

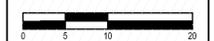
REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:



SCALE: 1" = 10'



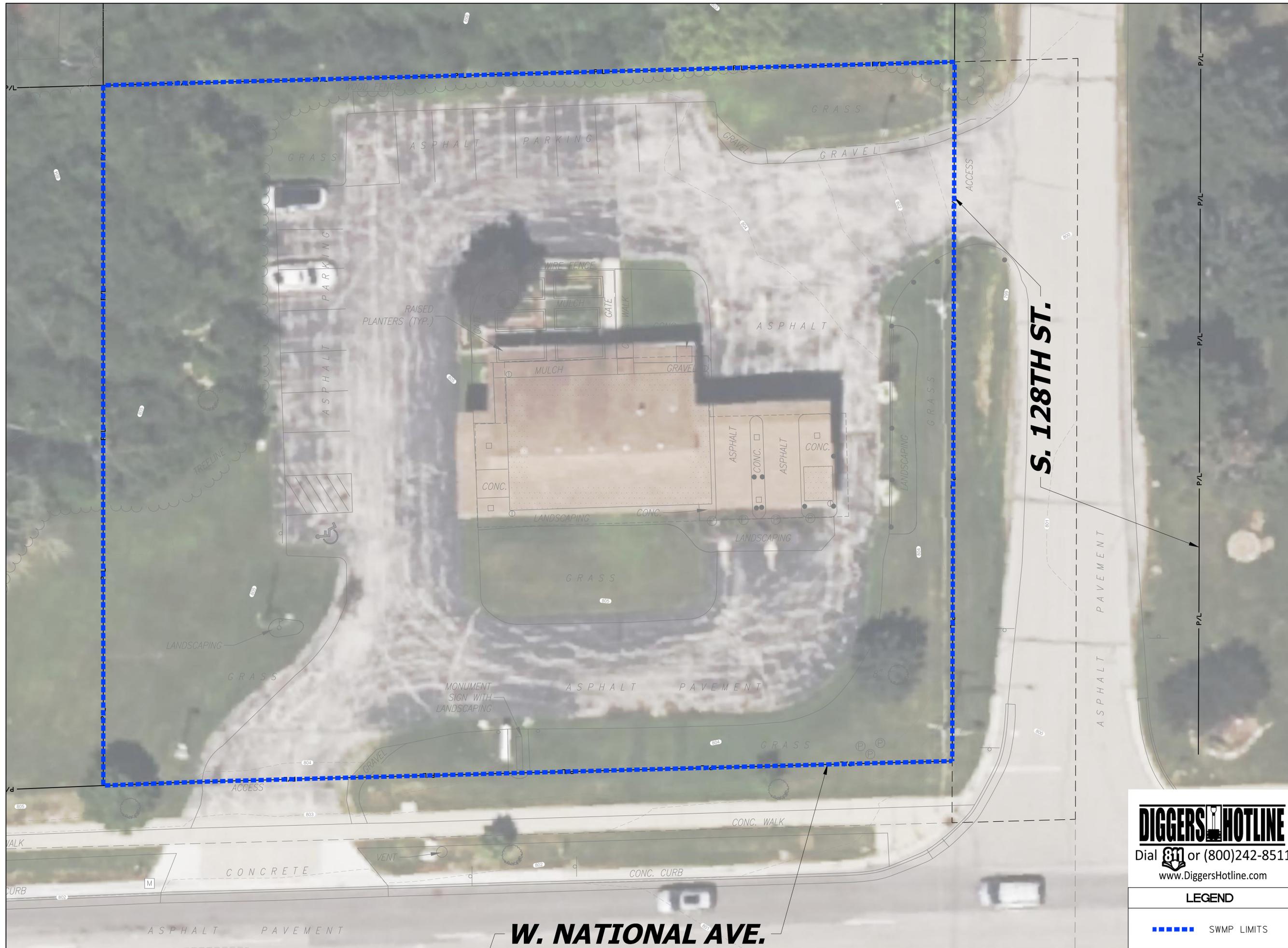
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all in

SHEET:
AERIAL VIEW OF
PRE-DEVELOPED
SITE CONDITIONS

PROJECT MANAGER: RB
PROJECT NUMBER: 250618.01
DATE: 06/20/2025

SHEET NUMBER:
SWMP-1



DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

LEGEND
 SWMP LIMITS

PROJECT:
TRUSTONE CREDIT UNION

LOCATION:
12800 W. NATIONAL AVE.
NEW BERLIN, WI

CLIENT:

RELEASE:
PLAN COMMISSION

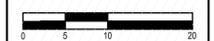
REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:



SCALE: 1" = 10'



SEAL:

all in

SHEET:
PRE DEVELOPED SITE CONDITIONS

PROJECT MANAGER: RB
PROJECT NUMBER: 250618.01
DATE: 06/20/2025

SHEET NUMBER:

SWMP-2



LEGEND

	SWMP LIMITS
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EXISTING PERVIOUS VS. IMPERVIOUS AREAS		
	SQUARE FEET	ACRES
AREA OF SUBJECT SITE (SWMP LIMITS)	35,308 SQUARE FEET	0.81 ACRES
IMPERVIOUS AREAS		
BUILDING / ALTERNATE BUILDING AREA	3,025 SQUARE FEET	0.07 ACRES
DRIVEWAY / ROADWAY AREA	16,198 SQUARE FEET	0.37 ACRES
SIDEWALK / PEDESTRIAN AREAS	118 SQUARE FEET	0.01 ACRES
TOTAL EXISTING IMPERVIOUS AREA	19,341 SQUARE FEET	0.45 ACRES
PERVIOUS AREAS		
TOTAL EXISTING PERVIOUS AREA	15,967 SQUARE FEET	0.36 ACRES

PROJECT:
TRUSTONE CREDIT UNION

LOCATION:
12800 W. NATIONAL AVE.
NEW BERLIN, WI

CLIENT:

RELEASE:
PLAN COMMISSION

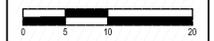
REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:



SCALE: 1" = 10'



SEAL:

all in

SHEET:
POST DEVELOPED
SITE CONDITIONS

PROJECT MANAGER: RB
PROJECT NUMBER: 250618.01
DATE: 06/20/2025

SHEET NUMBER:
SWMP-3



PROPOSED PERVIOUS VS. IMPERVIOUS AREAS		
	SQUARE FEET	ACRES
AREA OF SUBJECT SITE (SWMP LIMITS)	35,308 SQUARE FEET	0.81 ACRES
IMPERVIOUS AREAS		
BUILDING / ALTERNATE BUILDING AREA	4,227 SQUARE FEET	0.10 ACRES
DRIVEWAY / ROADWAY AREA	17,974 SQUARE FEET	0.41 ACRES
SIDEWALK / PEDESTRIAN AREAS	1,535 SQUARE FEET	0.03 ACRES
TOTAL PROPOSED IMPERVIOUS AREA	23,736 SQUARE FEET	0.54 ACRES
PERVIOUS AREAS		
TOTAL PROPOSED PERVIOUS AREA	11,572 SQUARE FEET	0.27 ACRES